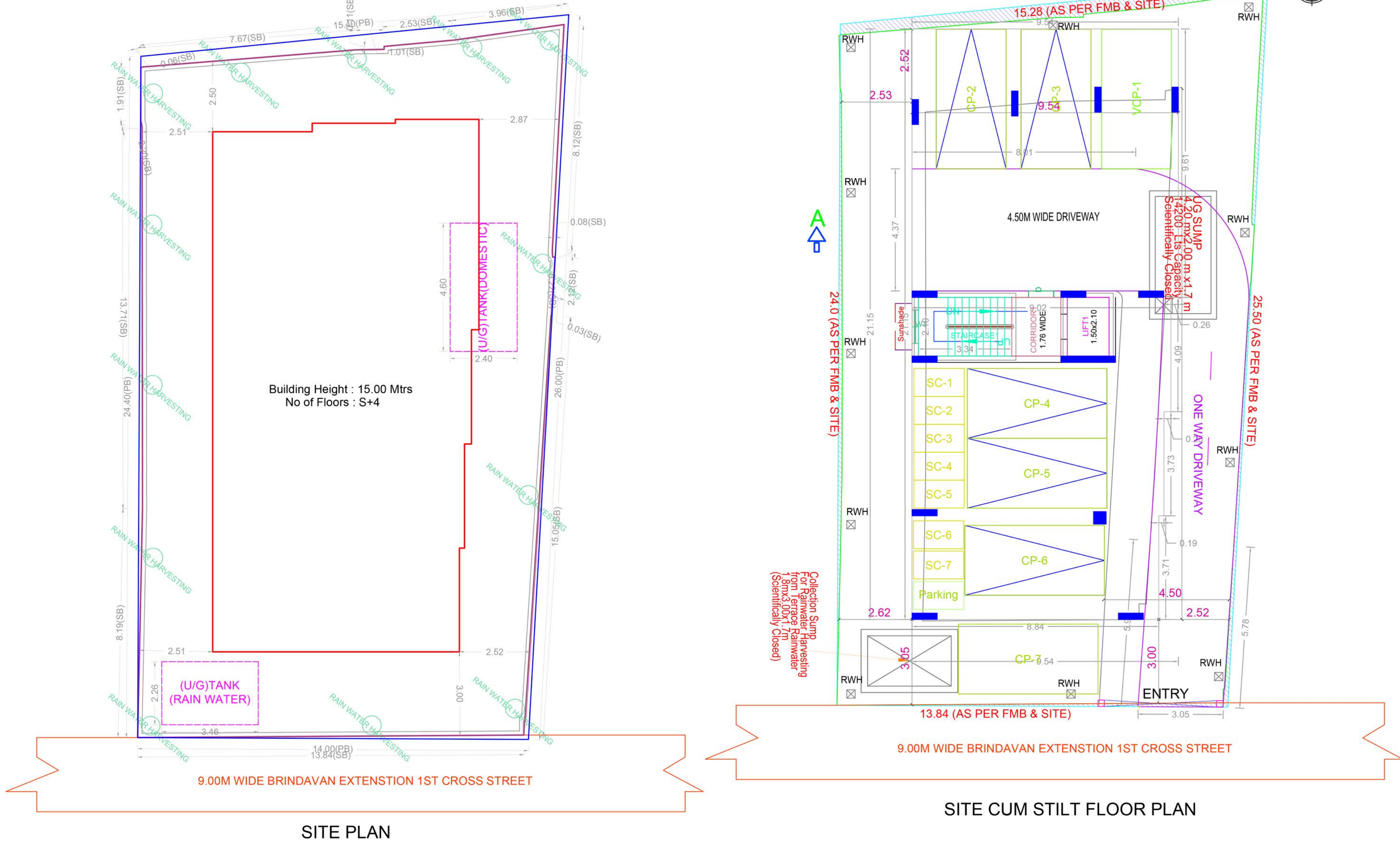
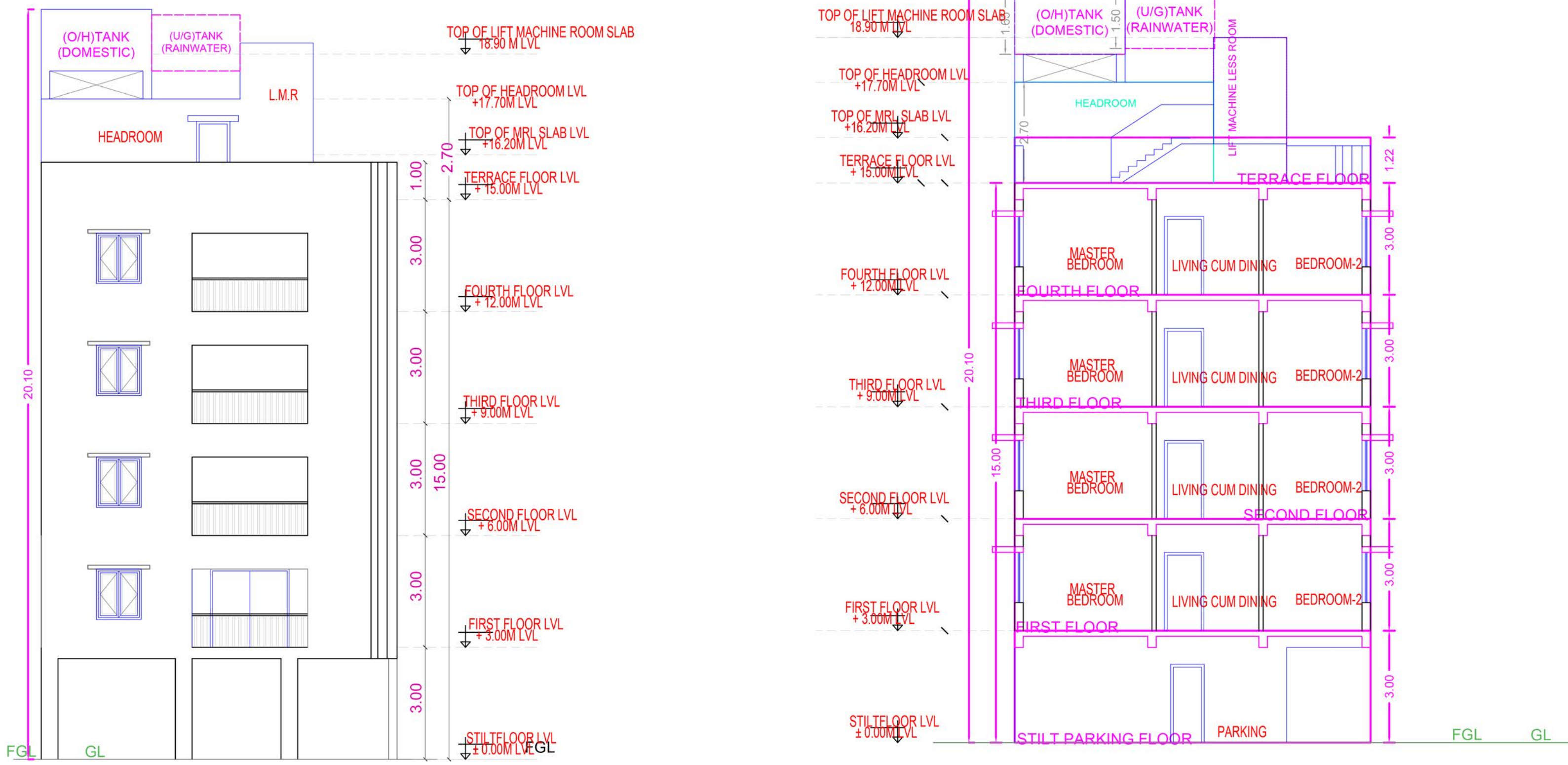
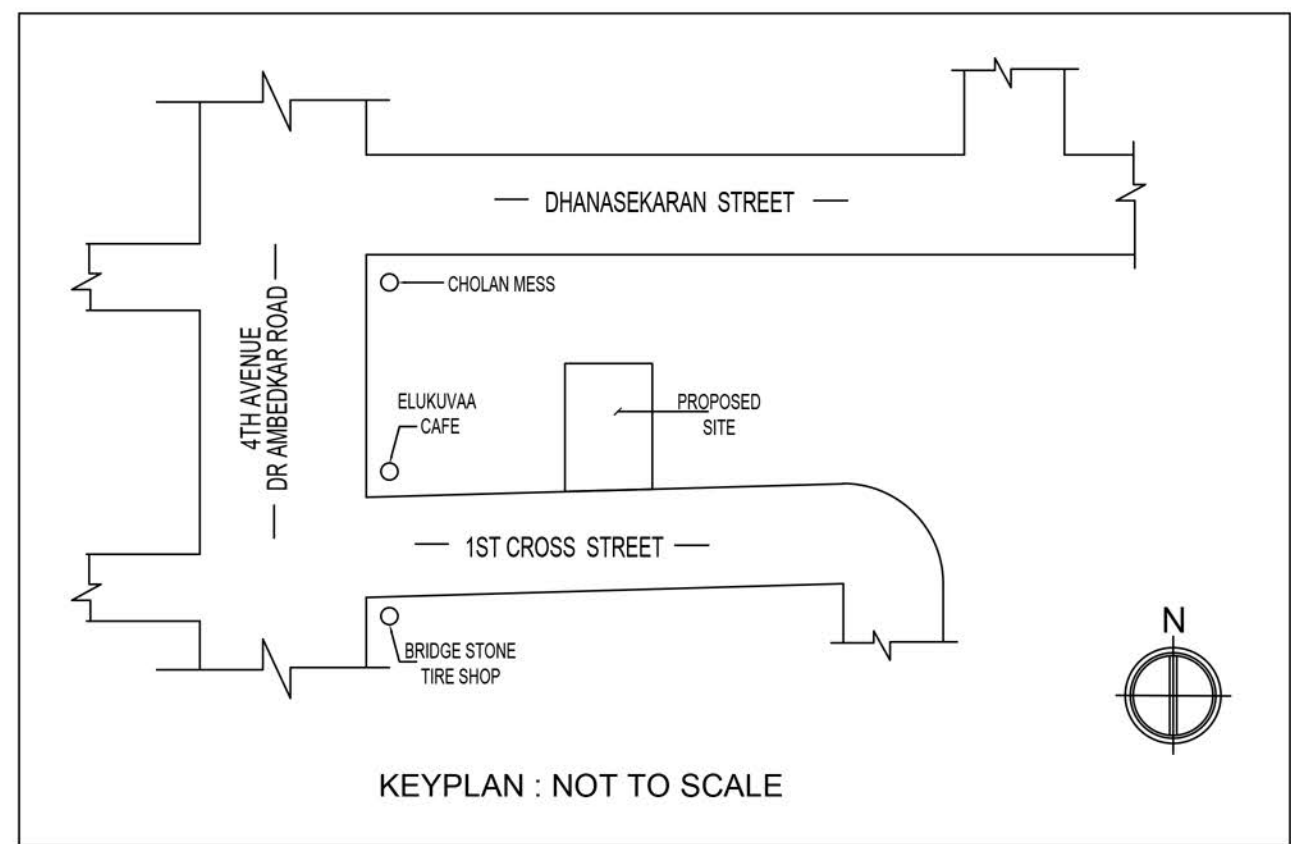


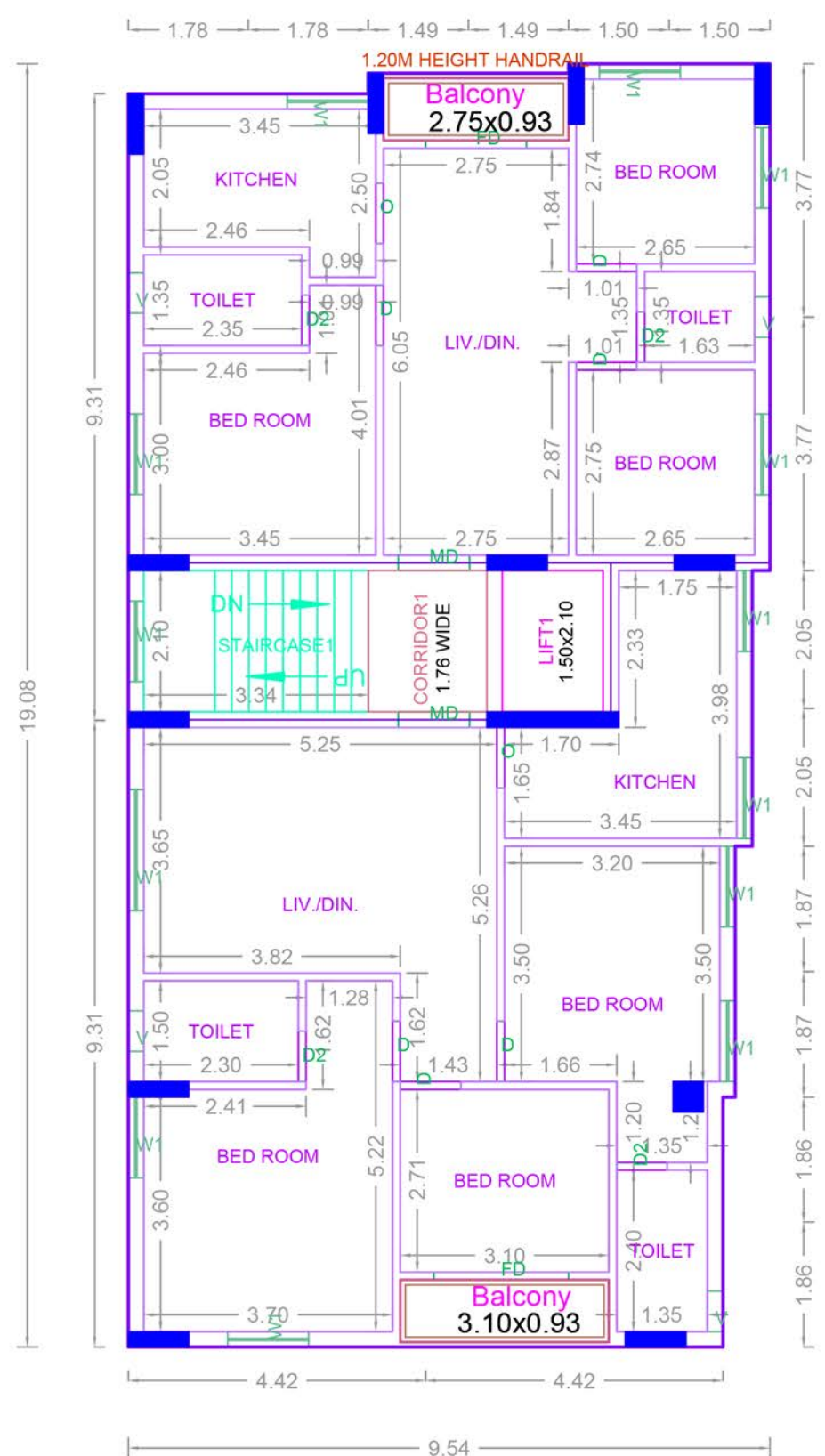


A) AREA STATEMENT		SQ.M.
AREA AS PER PATT		368.00
AREA AS PER DOCUMENT		366.31
AREA CONSIDERED FOR FSI		366.31
STREET ALIGNMENT/ ROAD WIDENING/LINK ROAD		0.00
OSR AREA		0.00
TOTAL FSI AREA		696.13
FSI FACTOR		1.900
COVERAGE AREA (PERCENTAGE %)		NA

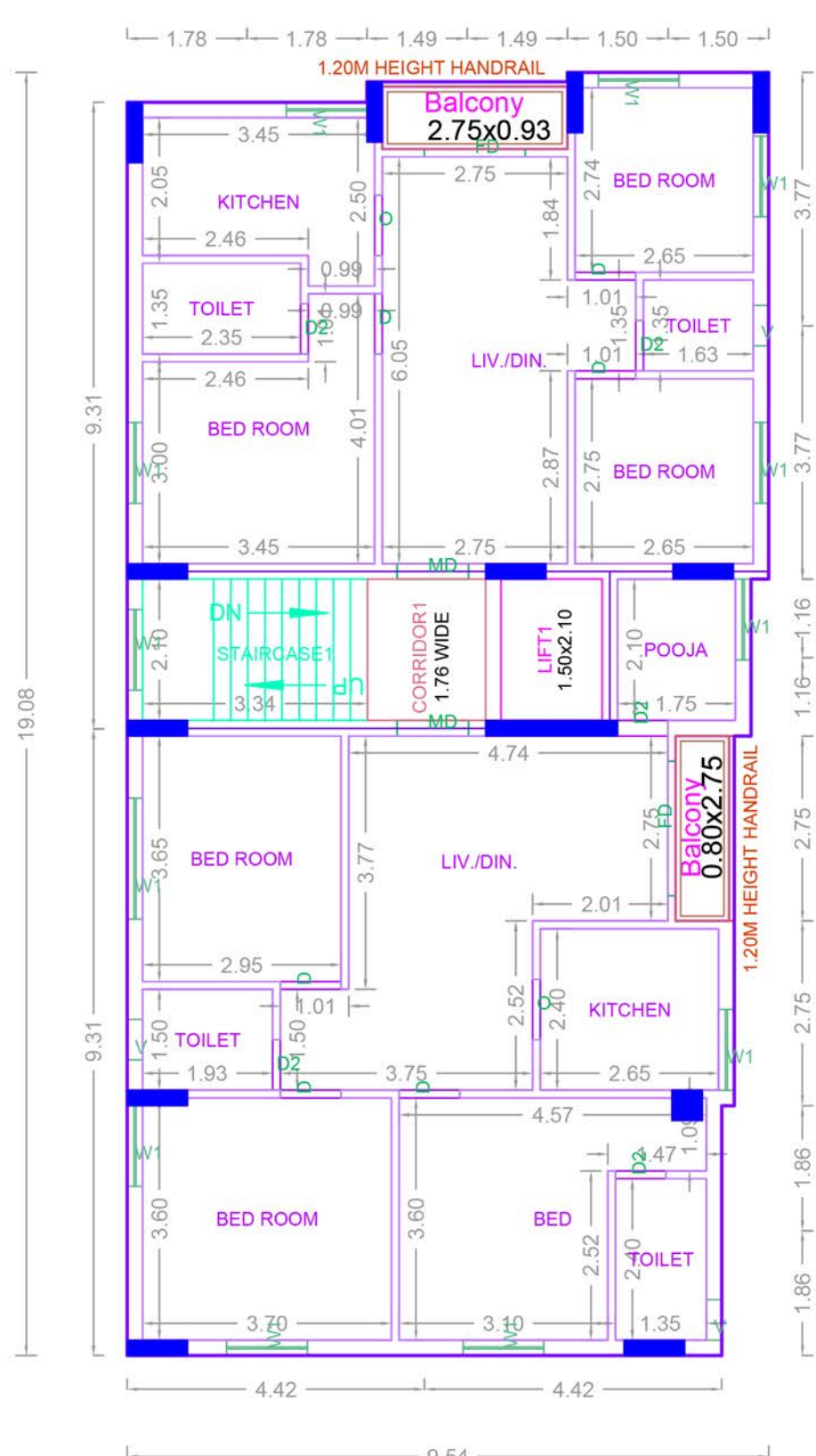
A) PARKING STATEMENT		
VEHICLE	REQUIRED	PROVIDED
LORRY	0	0
CAR	7	7
TWO WHEELER	4	8
CYCLE	0	0



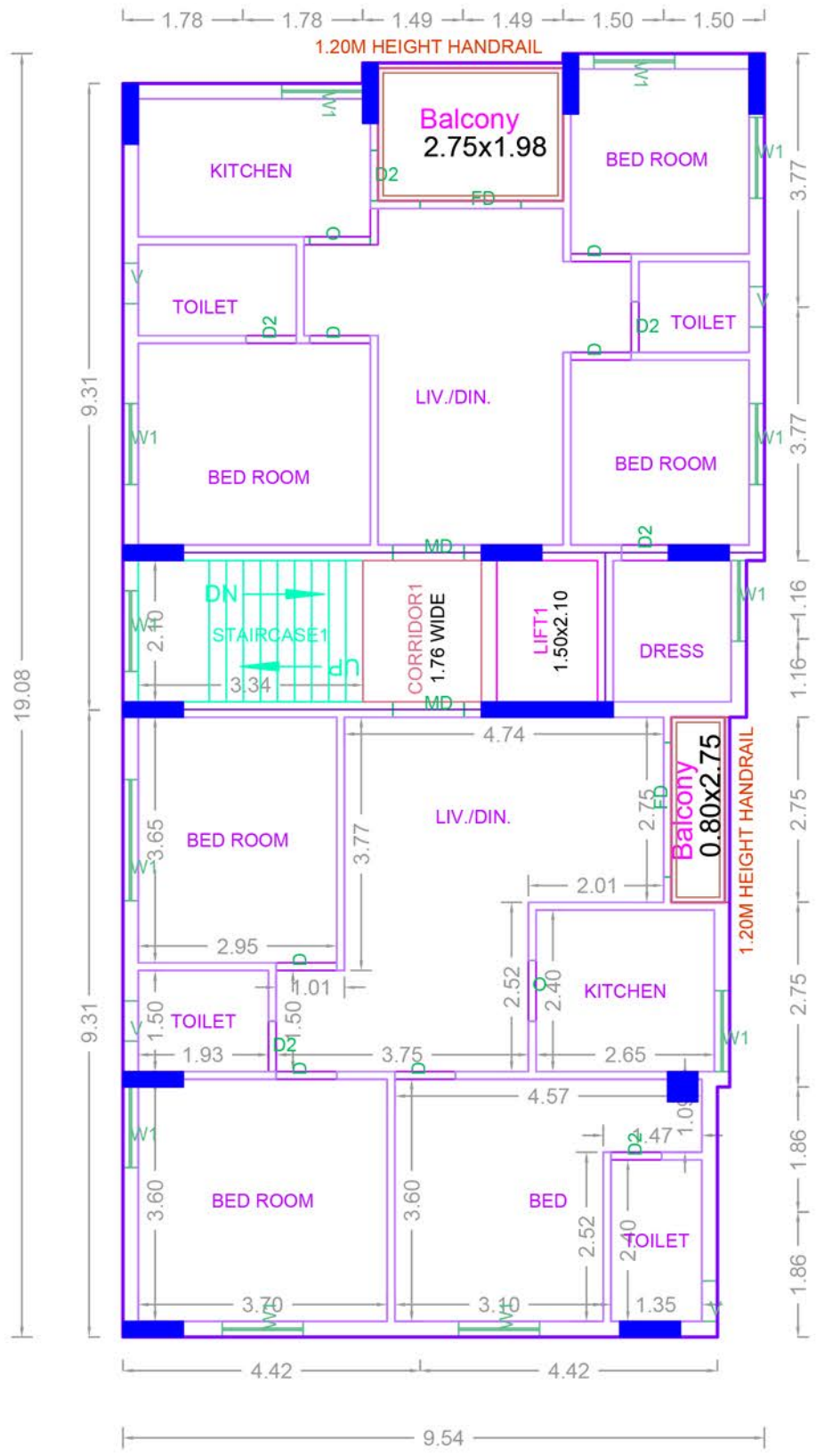
Location plan (Taken as per User Inputs)



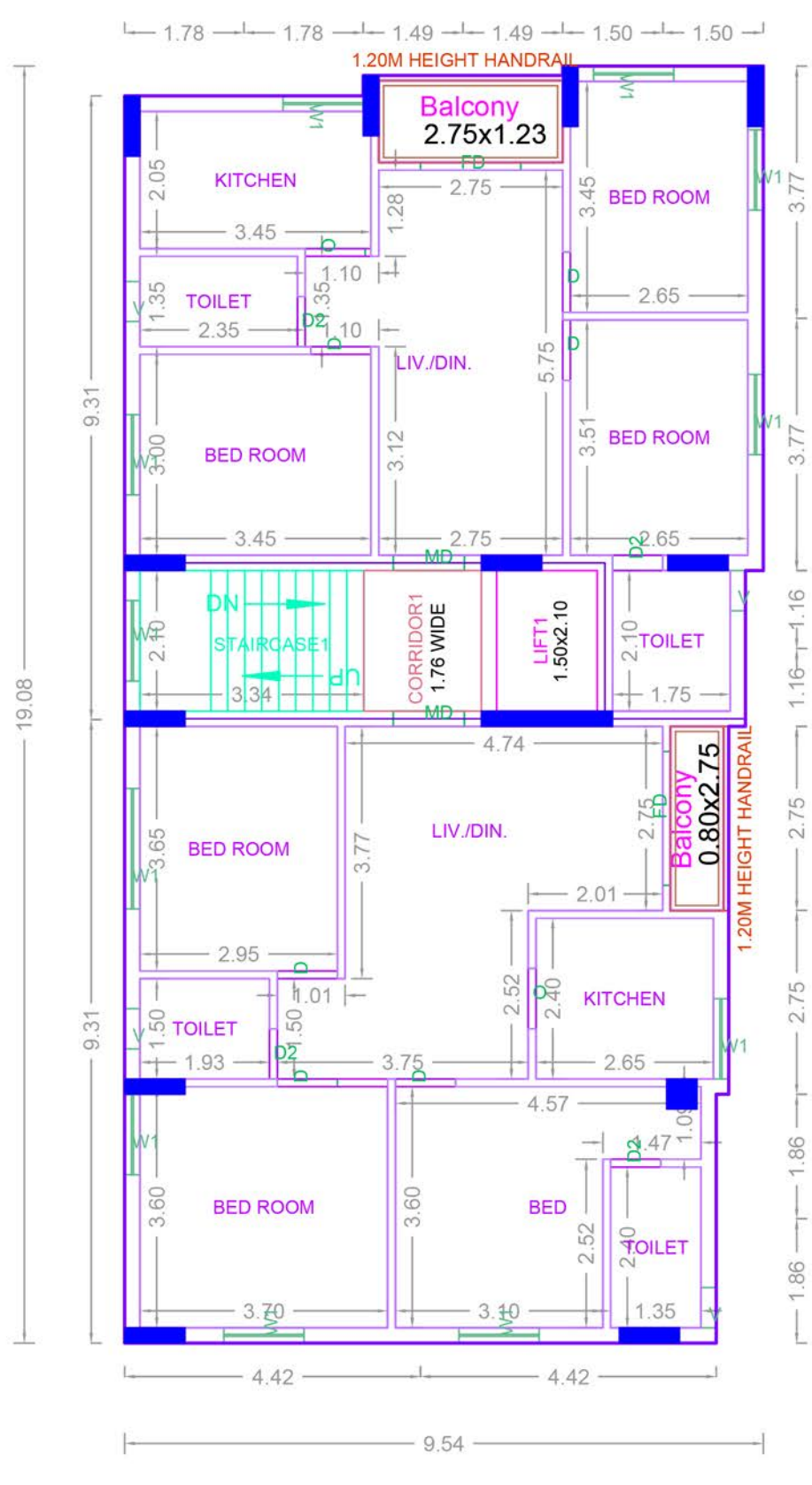
FIRST FLOOR PLAN



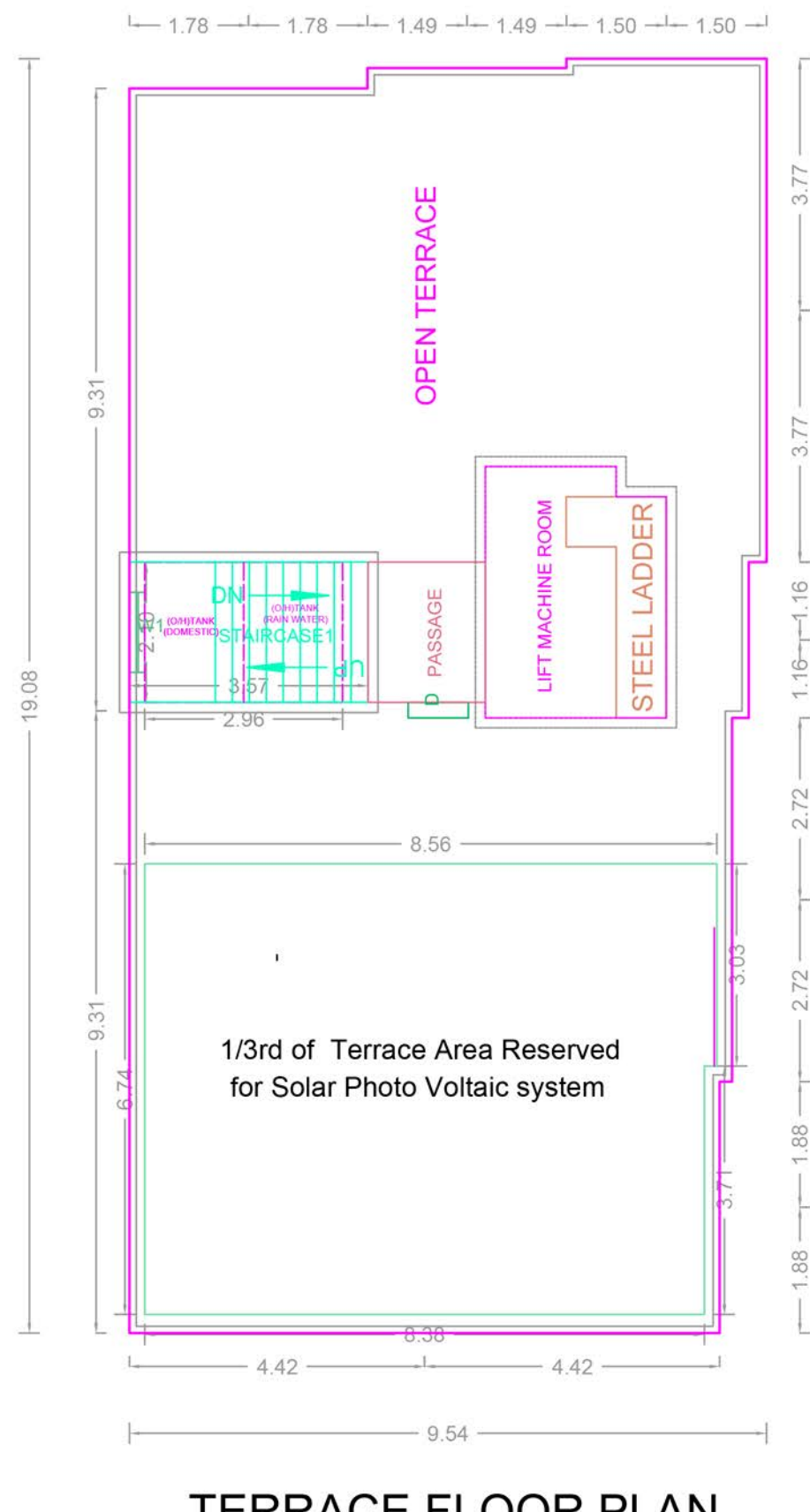
SECOND FLOOR PLAN



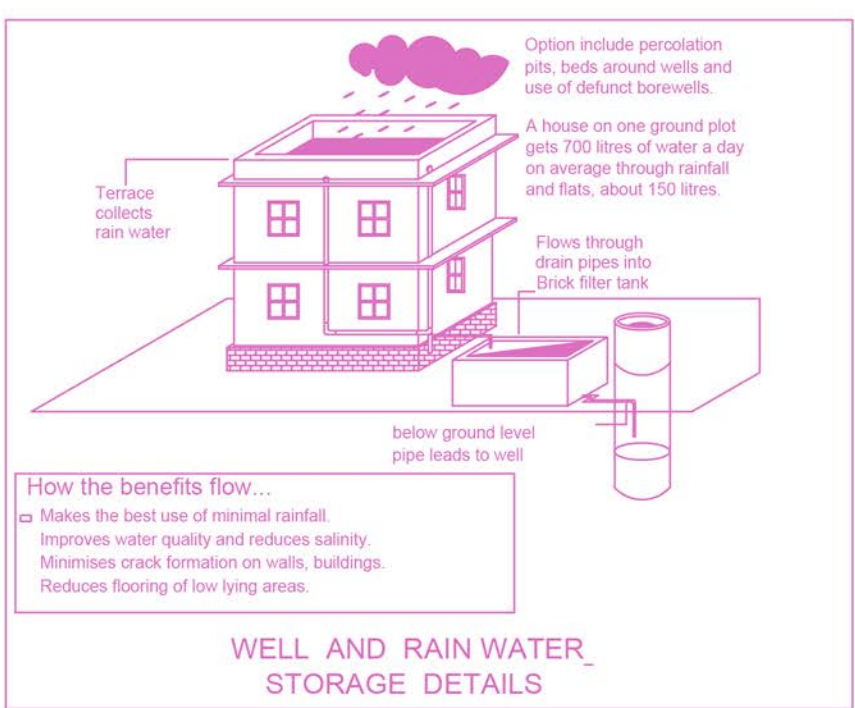
THIRD FLOOR PLAN



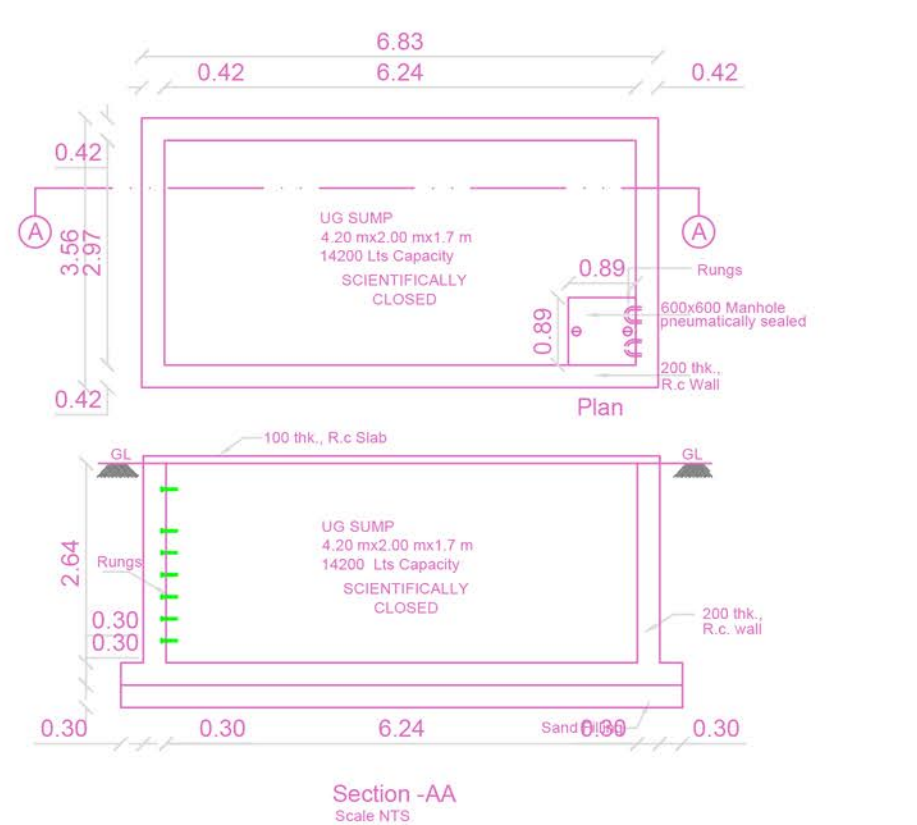
FOURTH FLOOR PLAN



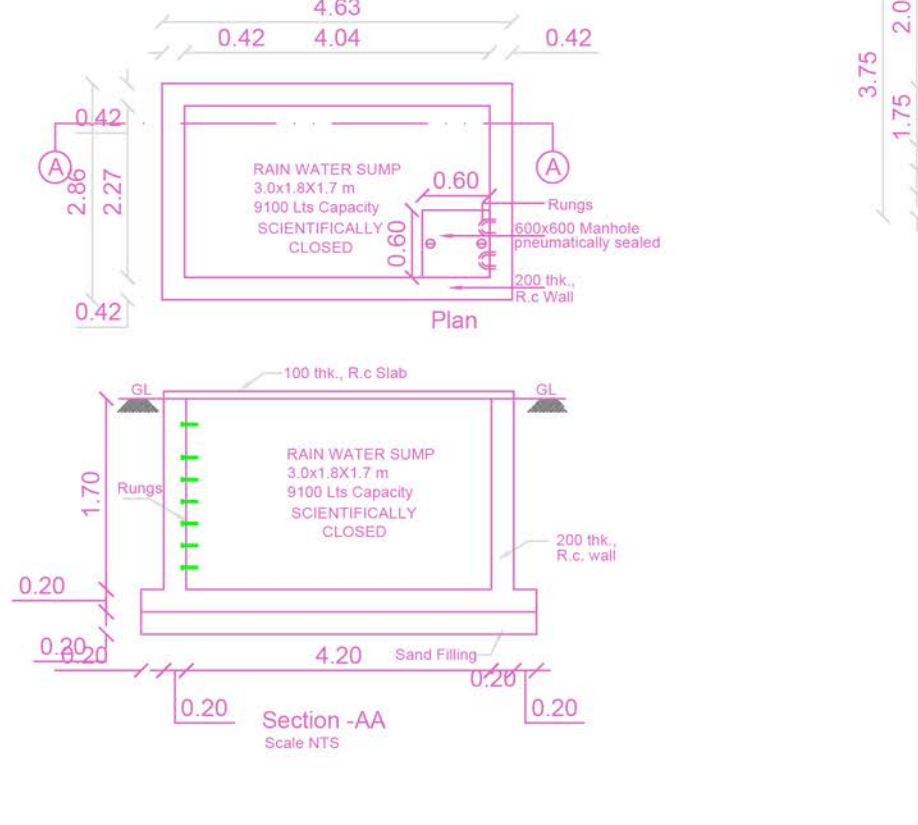
TERRACE FLOOR PLAN



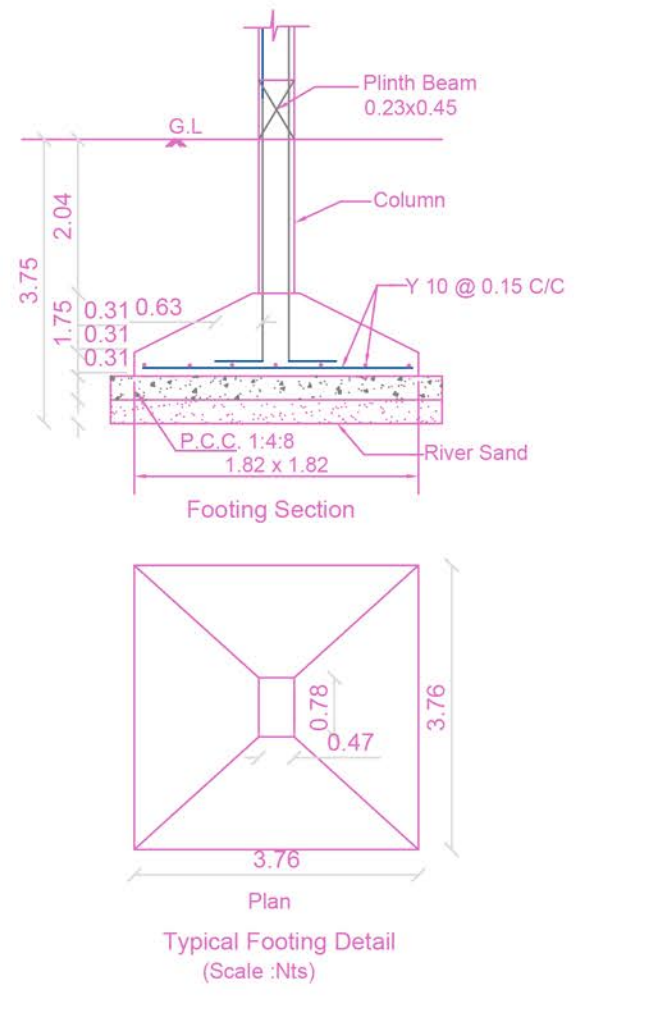
Typical Footing Detail (Scale: Nts)



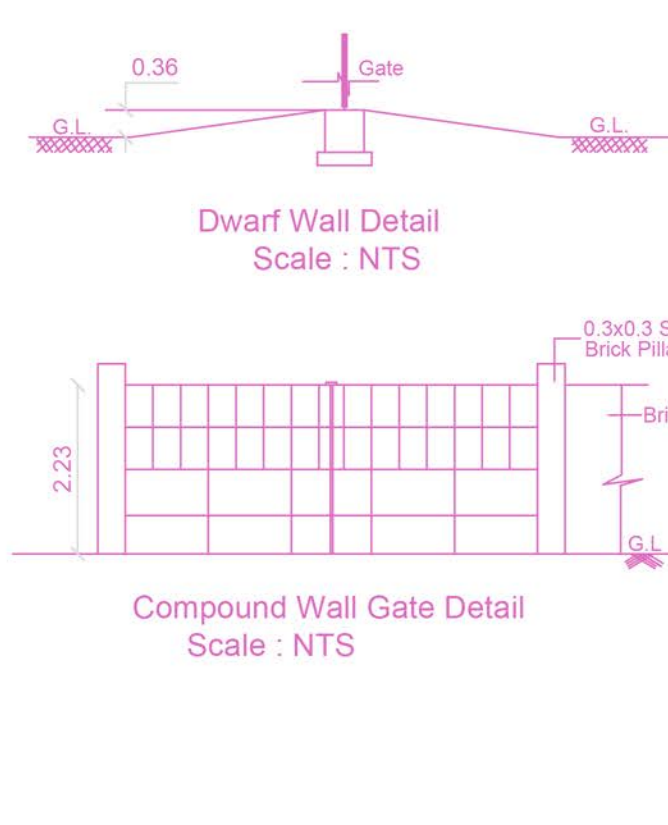
Section-AA (Scale: Nts)



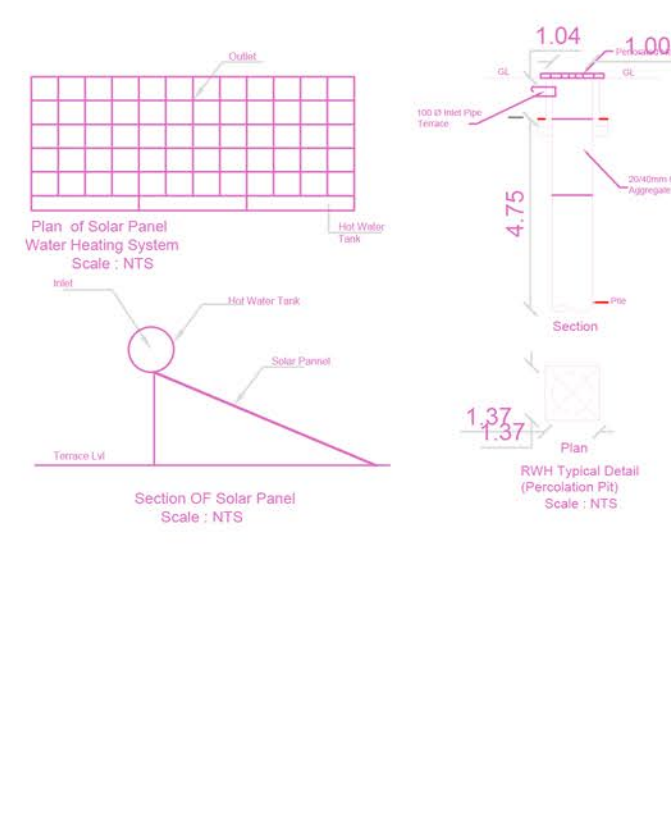
Section-AA (Scale: Nts)



Typical Footing Detail (Scale: Nts)



Compound Wall Gate Detail (Scale: Nts)



Section of Gate Detail (Scale: Nts)

FLOOR WISE FSI STATEMENT: A (B)

FLOORS	FSI AREA				DU	TOTAL FSI AREA
	COMM.	RESI.	IND.	INST.		
STILT PARKING FLOOR	0.00	0.00	0.00	0.00	0	0.00
FIRST FLOOR	0.00	174.37	0.00	0.00	2	174.37
SECOND FLOOR	0.00	173.92	0.00	0.00	2	173.92
THIRD FLOOR	0.00	173.92	0.00	0.00	2	173.92
FOURTH FLOOR	0.00	173.92	0.00	0.00	2	173.92
Terrace	0.00	0.00	0.00	0.00	0	0.00
Total	0.00	696.13	0.00	0.00	8	696.13

APPROVAL CONDITION

BUILDING WISE FSI STATEMENT

BUILDING	NO OF SAME BUILDING	FSI AREA				DU	TOTAL FSI AREA
		COMM.	RESI.	IND.	INST.		
A (B)		0.00	696.13	0.00	0.00	8	696.13
Total		0.00	696.13	0.00	0.00	8	696.13

This Planning Permission issued under New Plan TRECEN 2018 is valid till the expiry of the plan (10 years) from the date of issue (10/12/2018).

Signature of
 Registered Engineer
 Sign Date: 07/25/2023 1:56:31 PM

For (Design/ Planner / Chief / Planner / Member Secretary)
 High Rise Building / Non High Rise Building
 This Approval is valid only after building Permit is issued by the concerned Local Body.

KEY NO.

QR CODE